



Ordinance 02013-11
Adoption Date = April 3, 2013
Effective Date = July 1, 2013, except Chapter 11
Effective Date, Chapter 11 = December 1, 2013

AMENDMENTS TO:
CHAPTER 1 – Scope and Administration

Section R101.1 Title. Amend to read, "These provisions shall be known as the *Residential Code for One- and Two-family Dwellings* of the City of Yuma, and shall be cited as such and will be referred to herein as 'this code.'"

Section R103.1 Creation of enforcement agency. Amend to read, "The **Department of Community Development, Building Safety Division**, is hereby created and the official in charge thereof shall be known as the *building official*."

Section R104.10.1 Flood hazard areas. Delete section in its entirety in favor of adopted City floodplain ordinances.

Section R105.1 Required. Add to end of section, "In addition, Park Models, as defined in the Yuma City Code, Title 15, Chapter 154, Section 15.07, require a building permit for placement. Electrical connections that are hard-wired to the unit require a separate permit. Mechanical equipment that is external to the unit requires a separate permit. Tie-down anchors are required for park model installations as specified in Chapter 4."

Section R105.2 Work exempt from permit.

Add new items #11 and #12, under "**Building**":

11. "Window replacements of like size where framing is not altered and any required emergency egress dimensions are not diminished from existing.
12. Replacement of an existing electric water heater in the same location.

Items #11 and #12 apply only to work performed by a licensed contractor or the owner/occupant of the premises."

Create new section, "**R105.10 Toilet facilities on construction sites**. Toilet facilities shall be provided for construction workers and such facilities shall be maintained in a sanitary condition. Construction worker toilets of the non-sewer type shall conform to ANSI 266.3.

Toilet facilities shall be required at a ratio of at least one toilet for a maximum of 15 lots under construction."

Create new section, "**R105.11 Construction Debris**. Construction sites shall be kept reasonably clean of construction debris during the course of construction. Construction debris shall be removed or retained on the lot and not at risk to be displaced from the lot by wind."

Section R106.1.3 Information for construction in flood hazard areas. Delete item 4 in its entirety.

Section R106.4 Amended Construction documents. Add to end of section, "Changes may be made without resubmittal that are not affecting code-related items, or when otherwise approved by the building official."

Section R108.2 Schedule of permit fees. Amend by adding Building Permit Fee Table 1-A.

TABLE 1-A- BUILDING PERMIT FEES

Schedule of Building Permit Fees	
Total Valuation	Fee
\$1 to \$500	\$50.00
\$501 to \$2,000	\$50.00 for the first \$500 plus \$4 for each additional \$100, or fraction thereof, to and including \$2,000
\$2,001 to \$25,000	\$110.00 for the first \$2,000 plus \$16 for each additional \$1,000, or fraction thereof, to and including \$25,000
\$25,000 to \$50,000	\$478.00 for the first \$25,000 plus \$12 for each additional \$1,000, or fraction thereof, to and including \$50,000
\$50,001 to \$100,000	\$780.00 for the first \$50,000 plus \$8 for each additional \$1,000, or fraction thereof, to and including \$100,000
\$100,001 to \$500,000	\$1,180.00 for the first \$100,000 plus \$6 for each additional \$1,000, or fraction thereof, to and including \$500,000
\$500,001 to \$1,000,000	\$3,580.00 for the first \$500,000 plus \$6 for each additional \$1,000, or fraction thereof, to and including \$1,000,000
\$1,000,000 and up	\$6,580.00 for the first \$1,000,000 plus \$4 for each additional \$1,000, or fraction thereof

Other Inspections and Fees:

1. Permit fees for mechanical, plumbing and electrical shall be as indicated per applicable fee tables of the respective ordinances.
2. Inspections outside of normal business hours, \$50 per hour* (minimum charge – 2 hours)
3. Reinspection fees of \$50 per hour*, when work is not ready for inspection.
4. Inspection fees for which no fee is specifically indicated, \$50 per hour* (minimum charge- one-half hour)
5. Additional plan review required by changes, additions or revisions to plans, \$50 per hour* (minimum charge- one-half hour)
6. For use of outside consultant. For plan checking and inspections, or both, Actual Costs**

*Or the total hourly cost to the jurisdiction, whichever is the greatest. This shall include supervision, hourly wages and fringe benefits of the employee involved.

** Actual costs include administrative and overhead costs.

Create new section, "**R108.2.1 Plan review fees.** When submittal documents are required by Section R106.1, a plan review fee shall be paid at the time of submitting the submittal documents for plan review. Said plan review fee shall be 65 percent of the building permit fee as shown in Table 1-A.

The plan review fees specified in this section are separate fees from the permit fees specified in Section R108.2 and are in addition to the permit fees.

When submittal documents are incomplete or changed so as to require additional plan review, an additional plan review fee shall be charged at the rate shown in Table 1-A."

Section R108.5 Refunds. Amend to read, "The *building official* shall authorize the refunding of fees as follows:

1. The full amount of any fee paid hereunder that was erroneously paid or collected.
2. Not more than 80 percent of the permit fee paid when no work has been done under a permit issued in accordance with this code.
3. Not more than 80 percent of the plan review fee paid when an application for a permit for which a plan review fee has been paid is withdrawn or canceled before any plan review effort has been expended.

The *building official* shall not authorize the refunding of any fee paid except upon written application filed by the original permittee not later than 180 days after the date of fee payment."

Section R108.6 Work commencing before permit issuance. Add to end of section, "An investigation fee, in addition to the permit fee, shall be collected whether or not a permit is then or subsequently issued. The investigation fee shall be determined by the *building official*, based on the circumstances, nature, and severity of the infraction.

The minimum investigation fee shall be \$50.00 and the maximum shall be an amount up to the same as the fee set forth in Table 1-A."

Section R109.4 Approval required. Add to end of section, "Inspection comments shall include code section references, when requested."

Section R110.3 Certificate issued. Amend to read, "After the *building official* inspects the building or structure and finds no violations of the provisions of this code or other laws that are enforced by the **jurisdiction**, the *building official* **may** issue a certificate of occupancy **upon request**, which shall contain the following:

1. The building *permit* number.
2. The address of the structure.
3. The name and address of the owner.
4. A description of that portion of the structure for which the certificate is issued.
5. A statement that the described portion of the structure has been inspected for compliance with the requirements of this code.
6. The name of the *building official*.
7. The edition of the code under which the *permit* was issued.
8. If an automatic sprinkler system is provided and whether the sprinkler system is required.
9. Any special stipulations and conditions of the building *permit*."

Section R112.1 General. Add to end of section, "The membership of the Residential Advisory Board, as prescribed in Section 150-175 of the Yuma City Code, will be the board of appeals."

Section R112.2.1 Determination of substantial improvement in areas prone to flooding. Delete section in its entirety in favor of adopted City floodplain ordinances.

Section R112.2.2 Criteria for issuance of a variance for areas prone to flooding. Delete section in its entirety in favor of adopted City floodplain ordinances.

Section R112.3 Qualifications. Delete section in its entirety.

Section R113.4 Violation penalties. Amend to read, "Any person who violates a provision of this code or fails to comply with any of the requirements thereof or who erects, constructs, alters or repairs a building or structure in violation of the of the *approved construction documents* or directive of the *building official*, or of a *permit* or certificate issued under the provisions of this code, **shall be subject to the penalty and fine described in this ordinance.**"

Section R114.2 Unlawful continuance. Amend to read, "Any person who shall continue any work in or about the structure after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition, **shall be subject to the penalty and fine described in this ordinance.**"



AMENDMENTS TO:
CHAPTER 2 -Definitions

CHAPTER 2 DEFINITIONS. Create new definition, "**Park Model.** Any factory assembled portable unit, to which is affixed an Arizona recreational vehicle seal, mounted on a chassis and wheels, not more than 12 feet in width and no greater than 400 square feet nor less than 320 square feet in total area, and permanently connected to utilities that are necessary for the operation of the installed park model with no holding tank."



**AMENDMENTS TO:
CHAPTER 3 – Building Planning**

TABLE R301.2 (1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA. Amend table to add values applicable to this jurisdiction:

**TABLE 301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

Ground Snow Load	Wind Design		Seismic Design Category ^f	Subject to Damage From			Winter Design Temp ^e	Ice Barrier Underlayment Required ^h	Flood Hazards ^g	Air Freezing Index ⁱ	Mean Annual Temp ^j
	Speed ^d (mph)	Topographic effects ^k		Weathering ^a	Frost line depth ^b	Termite ^c					
0	90	No	D ₀	Negligible	12"	Mod. To Heavy	39	No	1980, 1987, 2004, 2006	0	70

Section R302.1 Exterior walls. Add exceptions 6, 7, and 8 to section:

6. "In mobile home parks and other applicable zoning districts, attached nonhabitable *structures* including patio covers, carports, and sheds are permitted to have a *fire separation distance* of 3 feet (914 mm), with unlimited unprotected openings, and no projections allowed.
7. In mobile home parks and other applicable zoning districts that are existing at time of this code adoption, replacement *dwelling units* are permitted to maintain their prior existing *fire separation distance*, subject to compliance with other city codes, but in no case shall the *fire separation distance* be less than 3 feet (914 mm), with unlimited unprotected openings, and no projections allowed.
8. For existing *dwellings* and other *structures* having legal, nonconforming setbacks at time of this code adoption, where approved by the zoning administrator and the *building official*, additions are permitted to comply with the existing nonconforming setbacks, provided the minimum *fire separation distance* is 3 feet (914 mm), with unlimited unprotected openings, and no projections allowed."

Section R313.2 One- and two-family dwellings automatic fire systems. Delete section in its entirety. (Preemption by ARS § 9-807).

Section R313.2.1 Design and installation. Clarification: This section is to remain.

Section R317.3.1 Fasteners for preservative-treated wood. Add fourth exception to section:

4. "Fasteners for preservative-treated wood in areas not normally subjected to high moisture."

Section R318.1 Subterranean termite control methods. Add to end of section, "Method 3 or 4 shall be incorporated per Section R317.1, regardless of other methods or combination of methods utilized."

SECTION R322 FLOOD-RESISTANT CONSTRUCTION. Delete section in its entirety in favor of adopted City floodplain ordinances.

AMENDMENTS TO:
CHAPTER 4 - Foundations

Section R401.2 Requirements. Add to end of section. "Engineered fill building pads shall be placed in 12-inch lifts, compacted to not less than 95% Maximum Density, per ASTM D698 or D1557. The building pads shall extend a minimum of 3-feet beyond the footprint of the building at an elevation level not less than 10-inches below the finished floor."

Park Model installations shall be provided with tie-downs using approved manufactured housing tie-down anchors. As a minimum, tie-down anchors shall be installed at each corner of the unit and intermediately spaced at maximum 12 feet (3658 mm) on-center."

Section R401.2 Requirements. Add exception to section.

"Exception: Fills depths 12-inches or less may not require testing subject to determination by the building official."

Section R403.1.2 Continuous footing in Seismic Design Categories D₀, D₁ and D₂. Amend to read. "The braced wall panels of exterior walls of buildings located in Seismic Design Categories D₀, D₁ and D₂ shall be supported by continuous footings. Interior braced wall panels shall be supported by continuous footings at intervals not exceeding 60 feet (18288 mm) in both directions."

Section R403.1.4 Minimum depth. Amend first sentence to read. "All exterior footings shall be placed at least 12 inches (305 mm) below the undisturbed ground surface, or 12 inches (305 mm) into engineered pad."

Section R403.1.6.1 Foundation anchorage in Seismic Design Category C, D₀, D₁ and D₂. Add item 7 to section.

7. Interior braced wall panels when not supported by a continuous foundation shall be attached to the concrete slab on ground using 1/2 inch (12.7 mm) diameter anchor or expansion bolts spaced at not more than 6 feet (1829 mm) on center, or an equivalent method such as approved pneumatic anchor pins as per manufacturer requirements. Cut nails or spikes shall not be permitted."

Section 404.17 Flood Resistance. Delete section in its entirety in favor of adopted City floodplain ordinances.



AMENDMENTS TO:
CHAPTER 4 - Foundations

Section R401.2 Requirements. Add to end of section, "Engineered fill building pads shall be placed in 12-inch lifts, compacted to not less than 95% Maximum Density, per ASTM D698 or D1557. The building pads shall extend a minimum of 3-feet beyond the footprint of the building at an elevation level not less than 10-inches below the finished floor.

Park Model installations shall be provided with tie-downs using *approved* manufactured housing tie-down anchors. As a minimum, tie-down anchors shall be installed at each corner of the unit and intermediately spaced at maximum 12 feet (3658 mm) on-center."

Section R401.2 Requirements. Add exception to section:

"**Exception:** Fills depths 12-inches or less may not require testing subject to determination by the *building official*."

Section R403.1.2 Continuous footing in Seismic Design Categories D₀, D₁ and D₂.

Amend to read, "The *braced wall panels* at exterior walls of buildings located in Seismic Design

Categories D₀, D₁ and D₂ shall be supported by continuous footings. **Interior *braced wall panels* shall be supported by continuous footings at intervals not exceeding 60 feet (18288 mm) in both directions.**"

Section R403.1.4 Minimum depth. Amend first sentence to read, "All exterior footings shall be placed at least 12 inches (305 mm) below the undisturbed ground surface, **or 12 inches (305 mm) into engineered pad.**"

Section R403.1.6.1 Foundation anchorage in Seismic Design Categories C, D₀, D₁ and D₂. Add item 7 to section:

7. "Interior *braced wall panels* when not supported by a continuous foundation shall be attached to the concrete slab on ground using ½ inch (12.7 mm) diameter anchor or expansion bolts spaced at not more than 6 feet (1829 mm) on center, or an equivalent method such as approved pneumatic anchor pins as per manufacturer requirements. Cut nails or adhesives shall not be permitted."

Section 408.17 Flood Resistance. Delete section in its entirety in favor of adopted City floodplain ordinances.



Amendments to the 2012 International Residential Code for One-and Two-Family

AMENDMENTS TO:
CHAPTER 5 - FLOORS

Section R506.1 General. Add to end of section, "Control joints in unreinforced concrete slab-on-ground floors shall be provided at maximum 12 feet (3658 mm) on center in both directions."

Section R506.2.3 Vapor retarder. Delete section in its entirety.



AMENDMENTS TO:
CHAPTER 6 – WALL CONSTRUCTION

Section R602.3.2 Top Plate. Amend exception to section:

"Exception: A single top plate may be installed in stud walls, provided the plate is adequately tied at joints, comers and intersecting walls by a minimum of **2½ inches by 6-inch by a 0.036-inch-thick (64 mm by 406 mm by 0.914 mm) galvanized steel strap or plate that is nailed to each wall or segment of wall by six 10d nails** on each side, provided the rafters or joists are centered over the studs with a tolerance of no more than 1 inch (25 mm). The top plate may be omitted over lintels that are adequately tied to adjacent wall sections with steel straps or plates or equivalent as previously described."

Section R602.10.1.3 Spacing of braced wall lines. Add exception to section:

"Exception: As an exception to *braced wall line* spacing of Table R602.10.1.3, in detached one- and two-story *dwellings*, for seismic bracing, spacing between *braced wall lines* may be up to 30 feet (9144 mm) x 45 feet (13716 mm) for one single room and one attached garage, each not exceeding 1,350 square feet (125.42m²) per *dwelling unit*. When this exception is taken all the following shall apply:

- 1.1 Wall bracing at *braced wall lines* surrounding the single room and one attached garage shall be Method WSP of Section R602.10.4.
- 1.2 *Braced wall panel* locations shall be as per Sections R602.10.2.2 and R602.10.2.2.1, and length of bracing provided as per Sections R602.10.3 and R602.10.5.
- 1.3 The entire length of *braced wall lines* surrounding the single room and garage shall be continuously sheathed with wood structural panel sheathing (WSP).
- 1.4 *Braced wall pane/locations* at the single room and garage shall have a maximum 3½:1 height-width ratio, **except for methods ABW and PFH of Section R602.10.4.**
- 1.5 *Braced wall lines* surrounding the single room and garage shall be supported by continuous foundations around the entire *braced wall lines*.
- 1.6 Spacing of all other interior braced wall lines **shall not exceed 25 feet."**

Section R602.10.2.2.1 Braced wall panel location in Seismic Design Categories D₀, D₁ and D₂. Add exception 2 and 3 to section:

"2. Interior *braced wall panels* shall begin within 10 feet (3810 mm) from each end of a braced wall line as determined in Section R602.10.1.1.

3. For *braced wall panel* construction Method WSP of Section R602.10.4, the *braced wall panel* shall be permitted to begin no more than 12.5 feet (3810 mm) from each end of the *braced wall line*, where a designed collector is provided. See sketches SK1, SK2, and SK3 for designed collectors and applicable conditions."

Section R602.10.7 Ends of braced wall lines with continuous sheathing.

Add exception to section:

"Exception: The first *braced wall panel* shall be permitted to begin 12.5 feet (3810 mm) from each end of the *braced wall line* in Seismic Design Category D₀, where a designed collector is provided. See sketches SK1, SK2, and SK3 for designed collectors and applicable conditions."

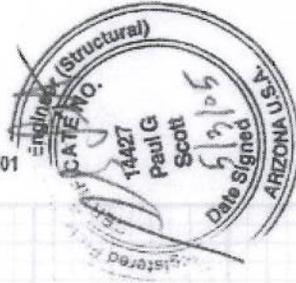
Section R602.10.8 Braced wall panel connections. Add to end of section, "This section also applies for connections of interior *braced wall panels* to roof trusses and rafters."



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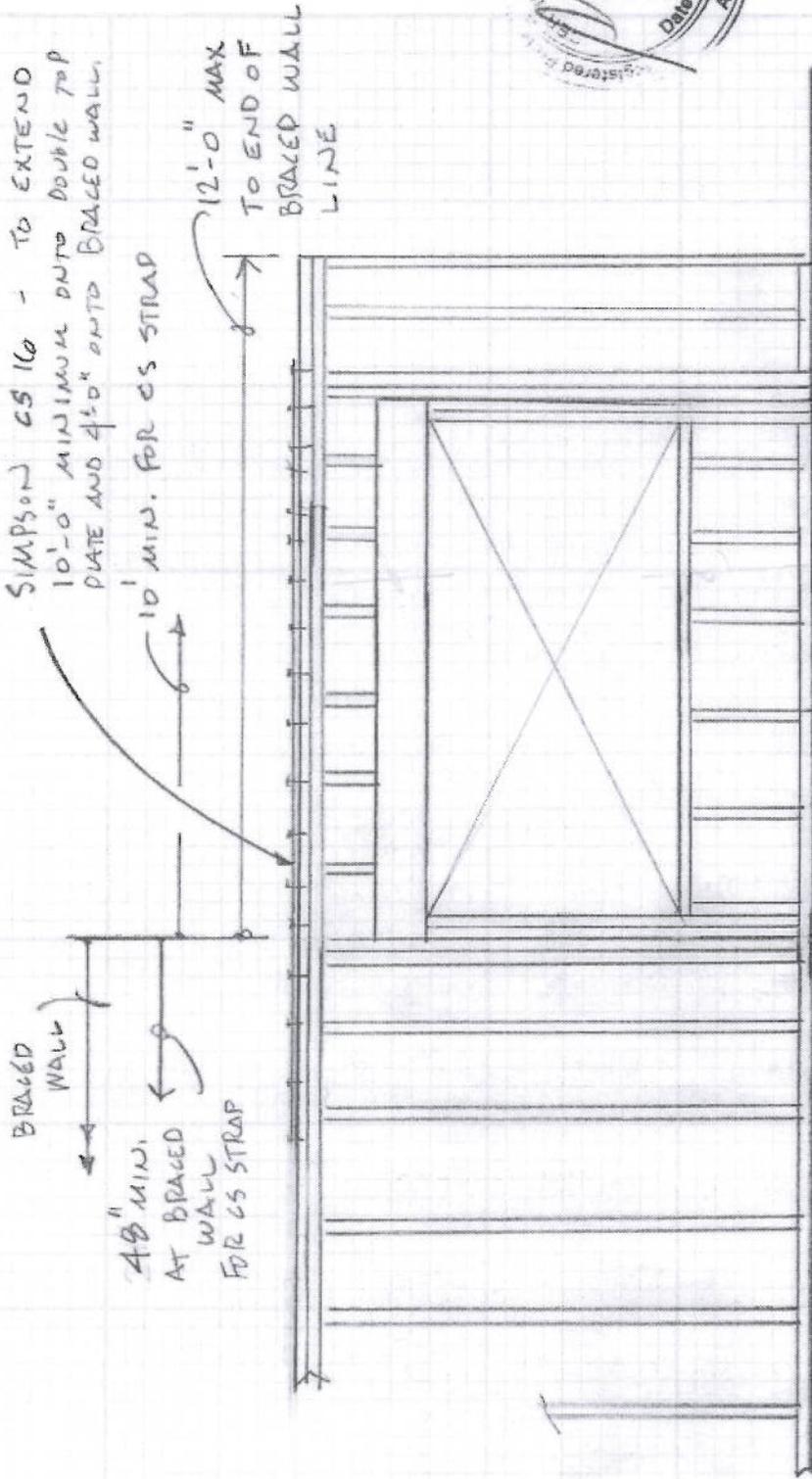
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Sheet No. _____

By PGS

Date 5-3/05



NOTE:

1. ALL NAIL HOLES TO BE FILLED.
2. THIS IS FOR THE CONDITION WHERE THE BRACED PANEL IS A MAXIMUM OF 12 FROM THE END OF THE BRACED WALL LINE.

WALL ELEVATION

SKI	5/3/05
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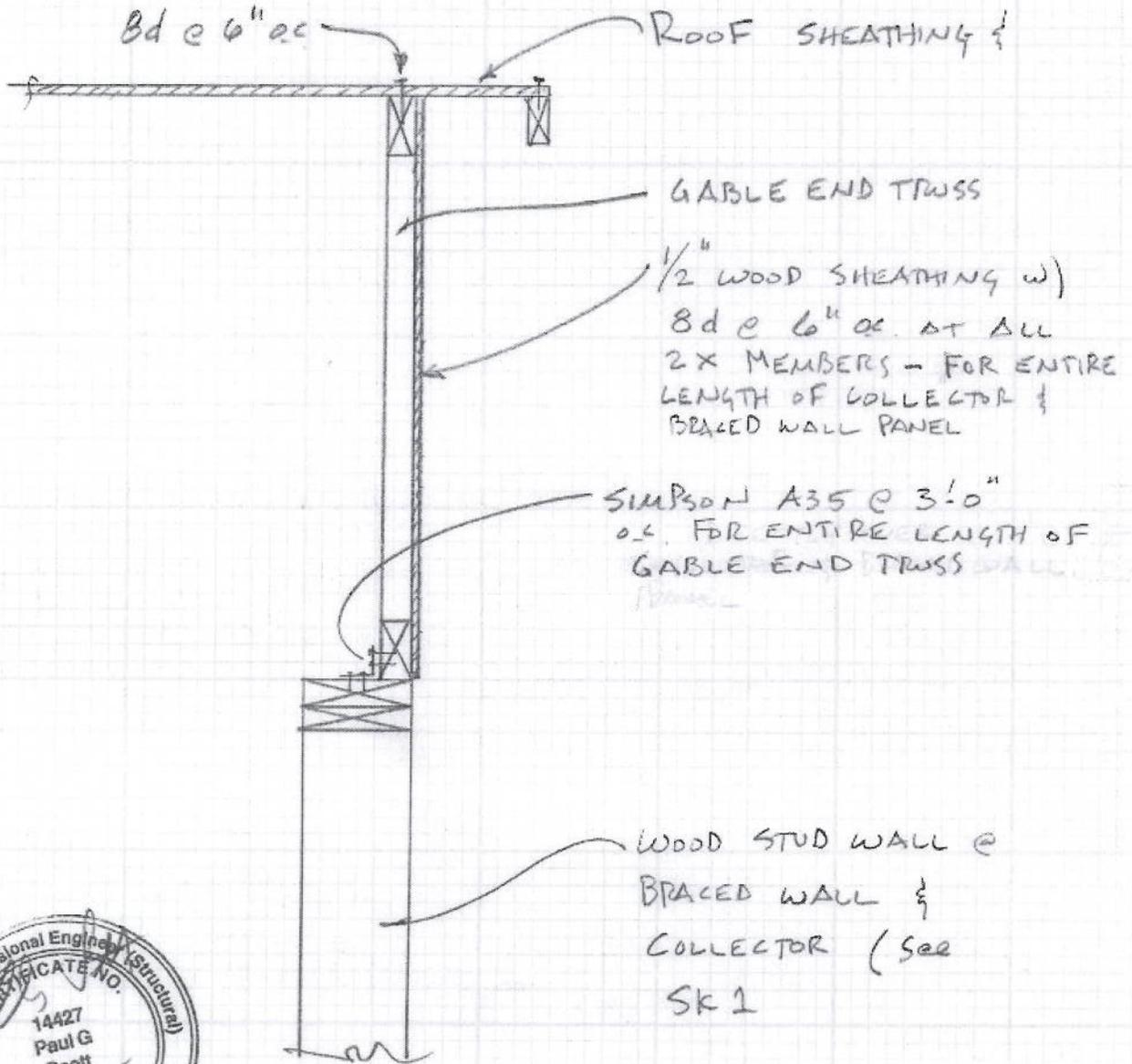
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Job No. 130 Sheet No. _____

By PJS Date 5-3/05



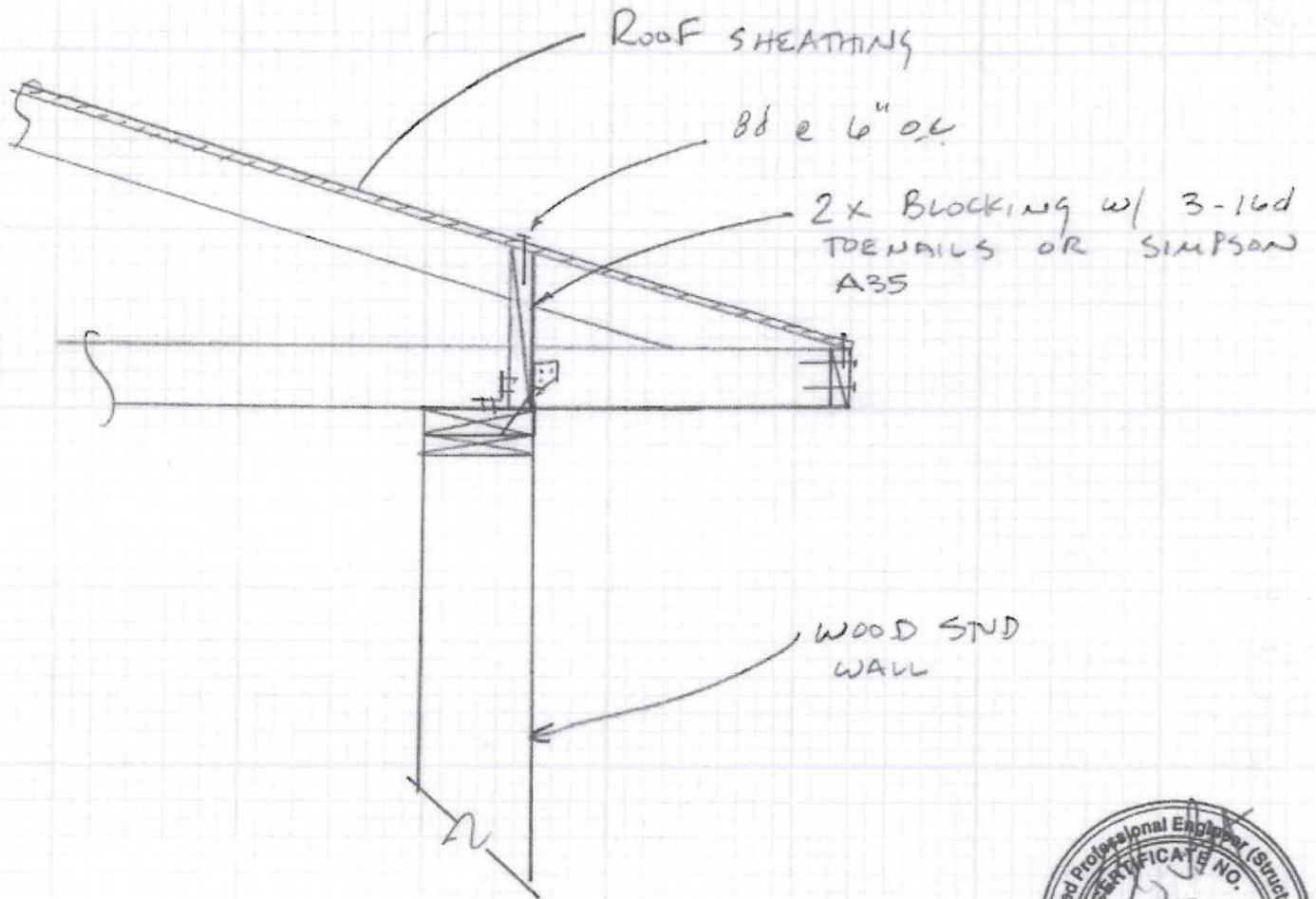
SK2	SECTION C GABLE TRUSS / END WALL
5/3/05	



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Job No. 1300 Sheet No. _____
By PGS Date 5/3/05



SK3
5/3/05

SECTION C TRUSS BEARING AT
BRACED WALL LINE



City of YUMA

Amendments to the 2012 International Residential Code for One-and Two-Family Dwellings

AMENDMENTS TO:
CHAPTER 7– WALL COVERING

TABLE R702.3.5 MINIMUM THICKNESS APPLICATION OF GYPSUM BOARD. Amend last sentence of footnote “d” of table to read, “When applying a water-based Texture material, the minimum gypsum board thickness shall be increased from 3/8 inch to 1/2 inch, for 16-inch on center framing.”



**AMENDMENTS TO:
CHAPTER 11 – ENERGY EFFICIENCY**

Section N1101.8 (R103.2) Information on construction documents. Amend last sentence to read, "Details shall include, but are not limited to, as applicable, insulation materials and their R-values; fenestration U-factors and SHGCs; area-weighted U-factor and SHGC calculations; mechanical system design criteria; duct sealing; duct insulation and location; and air sealing details."

Section N1101.16 (R401.3) Certificate (Mandatory). Amend section title to read, "N1101.16 (R401.3) Certificate (Optional)."

TABLE N1102.1.1 (R402.1.1) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT. Amend values under Climate Zone 2, as follows:

**TABLE N1102.1.1 (R402.1.1)
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT ^a**

Climate Zone	Fenestration U-Factor ^b	Skylight ^b U-Factor	Glazed Fenestration SHGC ^{b, e}	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value ¹	Floor R-Value	Basement ^c Wall R-Value	Slab ^d R-Value & Depth	Crawl Space ^c Wall R-Value
2	.65	.75	.35	30	13	46	13	0	0	0

TABLE 1102.1.1 (R402.1.1) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT. Delete exception in footnote "b" of table.

TABLE N1102.1.3 (R402.1.3) EQUIVALENT U-FACTORS. Amend values under Climate Zone 2, as follows:

**TABLE N1102.1.3 (R402.1.3)
EQUIVALENT U-FACTORS^a**

Climate Zone	Fenestration U-Factor	Skylight U-Factor	Ceiling U-Factor	Frame Wall U-Factor	Mass Wall U-Factor ^b	Floor U-Factor	Basement Wall U-Factor	Crawl Space Wall U-Factor
2	0.65	0.75	0.035	0.082	0.165	0.064	0.360	0.477

Section N1102.4 (R402.4) Air Leakage (Mandatory). Add to end of section, "Building envelope air tightness and insulation installation shall be demonstrated to comply with one of the following options given by Section N1102.4.1.2 or N1102.4.1.3."

Section N1102.4.1.2 (R402.4.1.2) Testing. Amend section title to read, "N1102.4.1.2 (R402.4.1.2) Testing option."

Create new section, "N1102.4.1.3 Visual inspection option. The components listed in Table N1102.4.1.1, applicable to the method of construction, are field verified. Where required by the *building official*, an *approved party* independent from the installer of the insulation, shall inspect the *air barrier* and insulation."

Table N1102.4.1.1 (R402.4.1.1) AIR BARRIER AND INSULATION INSTALLATION.

Amend as follows:

- a. "COMPONENT, 'Shower/tub on exterior wall.' Delete in its entirety.
- b. COMPONENT, 'Electrical/phone box on exterior walls.' Delete in its entirety.
- c. CRITERIA under COMPONENT 'Fireplace.' Delete sentence, 'Fireplaces shall have gasketed doors.'"

Section N1103.2.2 (R403.2.2) Sealing (Mandatory). Amend second paragraph to read,

"Duct tightness shall be verified by either of the following:

1. Post-construction test: Total leakage shall be less than or equal to 8 cfm (226.8 L/min) per 100 square feet (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test.
2. Rough-in test: Total leakage shall be less than or equal to 6 cfm (169.8 L/min) per 100 square feet (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. All registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 4 cfm (113.4 L/min) per 100 square feet (9.29 m²) of conditioned floor area.

Exception: The total leakage test is not required for the ducts and air handlers located entirely within the building thermal envelope."

Section N1103.4 (R403.4) Circulating hot water systems. Delete section and subsections in their entirety.

Create new section "**N1103.4 Circulating hot water systems (Mandatory)**. All circulating service hot water piping shall be insulated to at least R-2. Circulating hot water systems shall be provided with an automatic or readily *accessible* manual switch that can turn off the hot-water circulating pump when the system is not in use."

Section N1103.5 (R403.5) Mechanical ventilation (Mandatory). Amend to read, "Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilating system is not operating."

Section N1103.5.1 (R403.5.1) Whole-house mechanical ventilation system fan efficacy. Delete section in its entirety.

Section N1103.9.3 (R403.9.3) Covers. Delete section in its entirety.

Section N1104.1 (R404.1) Lighting equipment (Mandatory). Delete section in its entirety.

TABLE N1105.5.2(1) [R405.5.2(1)] SPECIFICATIONS FOR THE STANDARD REFERENCE AND PROPOSED DESIGNS. Delete BUILDING COMPONENT, "Air exchange rate" in its entirety.



AMENDMENTS TO:
CHAPTER 15 – EXHAUST SYSTEMS

Section M1507.1 General. Add to end of section, "Whole-house mechanical ventilation is not required in Climate Zone 2."



**AMENDMENTS TO:
CHAPTER 24 – FUEL GAS**

Section G2406.2 (303.3) Prohibited locations. Delete items 3 and 4 in their entirety.

Section G2407.5 (304.5) Indoor combustion air. Add to beginning of section, "Indoor *combustion air* shall not be used in new construction within the building envelope. Garages of minimum 400 square feet in area may use combination of infiltration and partial exterior *combustion air* for one standard water heater fuel gas *appliance* up to 50,000 Btu/h total input capacity."

Section G2407.7 (304.7) Combination indoor and outdoor combustion air. Add to beginning of section, "Combination indoor and outdoor *combustion air* shall not be used in new construction within the building envelope. Garages of minimum 400 square feet in area may use combination of infiltration and partial exterior *combustion air* for one standard water heater fuel gas *appliance* up to 50,000 Btu/h total input capacity."

Section G2414.5.2 (403.5.2) Copper tubing. Add to end of section, "Copper tubing shall not be used in natural gas piping systems, due to hydrogen sulfide content which cannot be guaranteed to be delivered from the serving utility provider to meet the code acceptable levels."

Section G2415.12 (404.12) Minimum burial depth. Amend to read, "Underground *piping systems* shall be installed a minimum depth of 12 inches (305 mm) below grade, except as provided for in Section G2415.12.1."

Section G2415.17.1 (404.17.1) Limitations. Amend exception 3 to read:

"3. Plastic pipe shall be permitted under uncovered outdoor patio, walkway and driveway slabs provided that the burial depth complies with Section G2415.12."

TABLE G2427.10.2.4 (503.10.2.4) MINIMUM THICKNESS FOR GALVANIZED STEEL VENT CONNECTORS FOR LOW-HEAT APPLIANCES. Amend table to add metal gauge equivalent for minimum thickness indicated:

Thickness	Gauge
"0.019 inch	28 Ga.
0.023 inch	26 Ga.
0.029 inch	24 Ga.
0.034 inch	22 Ga.
0.056 inch	18 Ga."

Section G2445.4 (621.4) Prohibited Locations. Add to end of section, "*Unvented room heaters* shall not be installed in bedrooms or bathrooms."



Amendments to the 2012 International Residential Code for One-and Two-Family Dwellings

AMENDMENTS TO:
CHAPTER 25 – PLUMBING ADMINISTRATION

Section P2503.4 Building sewer testing. Delete section in its entirety.

Section P2503.5.2 Finished plumbing. Delete item 2 in its entirety.



AMENDMENTS TO:
CHAPTER 26 – GENERAL PLUMBING REQUIREMENTS

Section P2603.2.1 Protection against physical damage. Amend first sentence to read, "In concealed locations, where piping, other than cast-iron or galvanized steel, is installed through holes or notches in studs, joists, rafters or similar members less than 1 ¼ inches (32 mm), from the nearest edge of the member, the pipe shall be protected by steel shield plates."

Section P2603.5.1 Sewer depth. Amend to read, "*Building sewers* that connect to private sewage disposal systems shall be at not less than 12 inches (305 mm) below finished *grade* at the point of septic tank connection. *Building sewers* shall be not less than 12 inches (305 mm) below *grade*."



AMENDMENTS TO:
CHAPTER 29 – WATER HEATERS

Section P2905.5 Water-distribution pipe. Add to end of section, "Use of copper at inaccessible water piping under slabs shall be limited to Type K, with no joints."



AMENDMENTS TO:
CHAPTER 34 – GENERAL REQUIREMENTS

Section E3406.3 Minimum size of conductors. Amend first sentence to read, "The minimum size of conductors for feeders and branch circuits shall be 12 AWG copper and 1 AWG aluminum or copper-clad aluminum for current carrying conductors."



AMENDMENTS TO:
CHAPTER 36 - SERVICES

Section E3601.1 Scope. Add to end of section, "Local utility company installation regulations may exceed/supersede installation requirements of this chapter."

Section E3604.2.2 Vertical clearance from grade. In item 1, amend 10 feet (3048 mm) to 12 feet 6 inches (3810 mm). In item 2, amend 12 feet (3658 mm) to 12 feet 6 inches (3810 mm).



AMENDMENTS TO:
CHAPTER 37 – BRANCH-CIRCUIT AND FEEDER REQUIREMENTS

TABLE E3702.13 BRANCH-CIRCUIT REQUIREMENTS-SUMMARY.
Amend table to delete 14 AWG conductors.



AMENDMENTS TO:
CHAPTER 39 – POWER AND LIGHTING DISTRIBUTION

Section E3901.12 HVAC outlet. Amend exception to read:

"Exception: A receptacle outlet shall not be required for the servicing of evaporative coolers or rooftop HVAC equipment."

Section E3902.2 Garage and accessory building receptacles. Add exception to section:

"Exception: GFCI protection shall not be required for single receptacle outlets dedicated for a specific use (such as a freezer) and receptacle outlets for garage door openers."



AMENDMENTS TO:
APPENDIX G – SWIMMING POOL, SPAS AND HOT TUBS

Section AG105.2 Outdoor swimming pool. Amend subsections as follows:

- a. "Amend first sentence in item 1 to read, "The top of the barrier shall be at least 60 inches (1524 mm) above *grade* measured on the side of the barrier which faces away from the swimming pool."
- b. Add to end of item 1, "The barrier shall include a concrete ribbon curb or other approved material around the entire perimeter."
- c. Item 9. Add new subsection, "9.4. Secondary barrier provided at minimum 48" (1219 mm) above *grade* and installed per standards in paragraphs 1 through 7."



City of YUMA

Amendments to the 2012 International Residential Code for One-and Two-Family Dwellings

AMENDMENTS TO:
APPENDIX H – PATIO COVERS

Section AH 103.2 Light, ventilation and emergency egress. In last sentence, amend reference of Section R310 to R311.